

**VALLEY VIEW
OAK 3RD
ADDITION**

MENDOTA HEIGHTS, MN

LARRY & MARY
CULLIGAN

1941 GLENHILL ROAD
MENDOTA HEIGHTS, MN 55118

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.louckscinc.com

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SUBMITTAL/REVISIONS

06/29/2020 CITY SUBMITTAL
09/28/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

NOT FOR CONSTRUCTION

Michael J. St. Martin - PE 24440
Date

QUALITY CONTROL

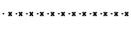
Loucks Project No. 018524
Project Lead MJS
Drawn By MJS
Checked By MJS
Review Date

C0-1 COVER SHEET
C1-1 EXISTING CONDITIONS & DEMOLITION PLAN
C2-1 SITE PLAN
C3-1 GRADING PLAN
C3-2 SWPPP
C3-3 SWPPP NOTES
C4-1 SANITARY & WATER PLAN
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C8-2 CIVIL DETAILS
C8-3 CIVIL DETAILS
L1-1 LANDSCAPE PLAN
L2-1 LANDSCAPE DETAILS

**EXISTING
CONDITIONS &
DEMOLITION
PLAN**

C1-1

DEMOLITION LEGEND:

-  REMOVE EXISTING BUILDING
-  REMOVE EXISTING BITUMINOUS PAVING
-  REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ETC.
-  MILL AND OVERLAY EXISTING PARKING LOT
-  REMOVE EXISTING GRAVEL PAVEMENT
-  REMOVE EXISTING TREES/WOODS
-  REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
-  REMOVE EXISTING UTILITIES
-  REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
-  REMOVE EXISTING TREES

LEGEND

-  FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
-  SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"
-  CATCH BASIN
-  STORM MANHOLE
-  SANITARY MANHOLE
-  HYDRANT
-  GATE VALVE
-  WATER MANHOLE / WELL
-  LIGHT POLE
-  POWER POLE
-  ELECTRIC METER
-  GAS METER
-  TELEPHONE PEDESTAL
-  SIGN
-  PARKING STALL COUNT
-  DISABLED PARKING STALL
-  SCHEDULE B NUMBERS
-  STORM SEWER
-  SANITARY SEWER
-  WATERMAIN
-  SANITARY SEWER SERVICE
-  WATER SERVICE
-  UNDERGROUND ELECTRIC
-  UNDERGROUND FIBER OPTIC
-  UNDERGROUND GAS
-  UNDERGROUND TELEPHONE
-  OVERHEAD UTILITY
-  CHAIN LINK FENCE
-  CONCRETE CURB
-  RETAINING WALL
-  CONCRETE
-  NO PARKING
-  EXISTING BUILDING
-  CONTOUR
-  SPOT ELEVATION
-  TREE LINE
-  CONIFEROUS TREE
-  PINE
-  DECIDUOUS TREE
-  ASH
-  MAPLE
-  TREE (GEN)

SOIL MAP TABLE	
NUMBER	SOIL TYPE
250	KENNEBECK SILT LOAM
39B2	WADENA LOAM, 2 TO 6 PERCENT SLOPES, ERODED
39C2	WADENA LOAM, 6 TO 12 PERCENT SLOPES, MODERATELY ERODED
7D	HUBBARD LOAMY SAND, 12 TO 18 PERCENT SLOPES
896F	KINGSLEY-MAHTOMEDI COMPLEX, 25 TO 40 PERCENT SLOPES



CALL BEFORE YOU DIG!

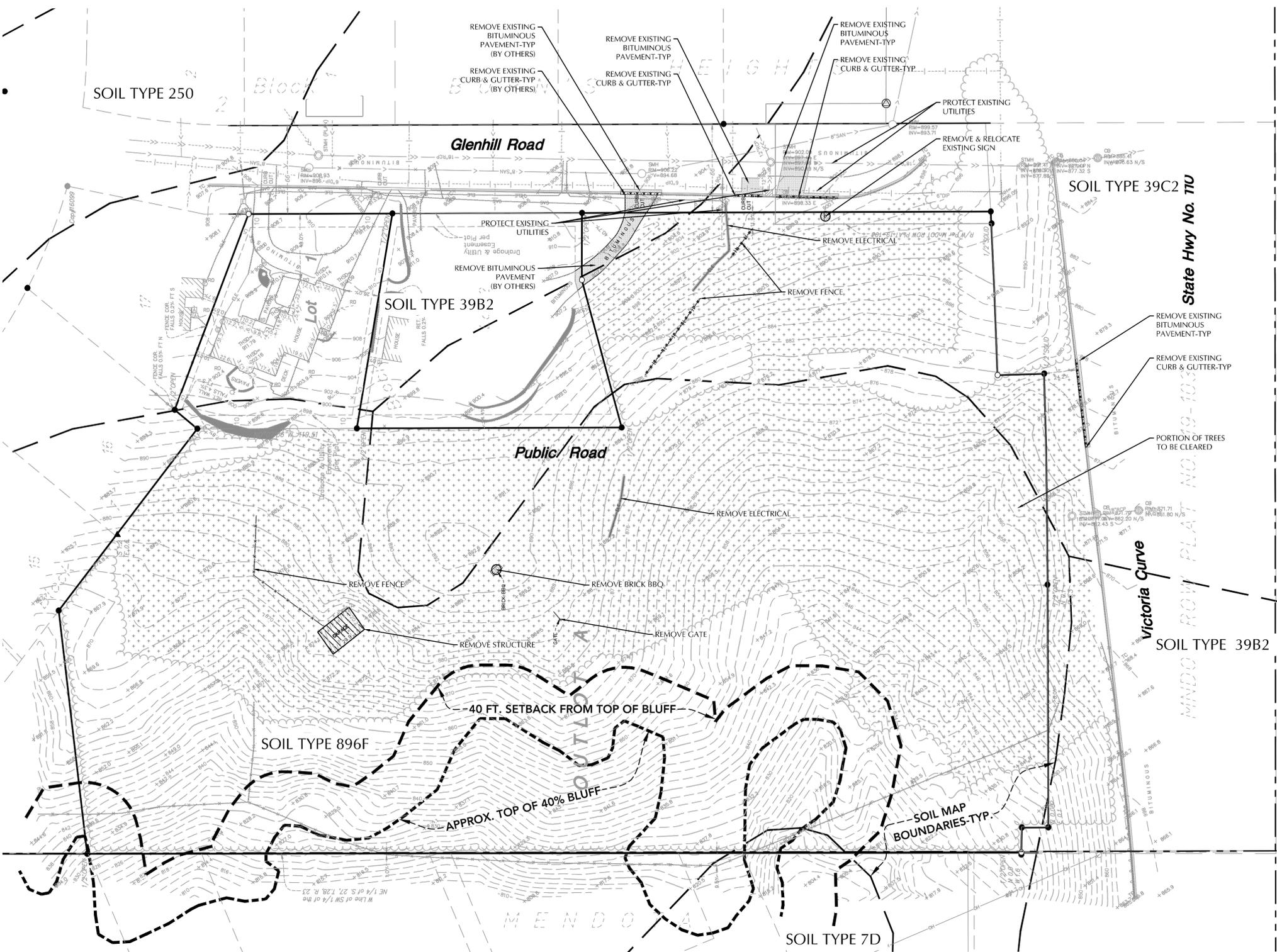
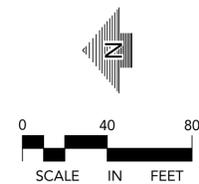
Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



SITE DEMOLITION SPECIFICATIONS

- CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
- CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
- BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE TO A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
- CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT. SAW CUT AS NECESSARY FOR A NEAT EDGE OF REMOVAL.
- ALL REMOVAL ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE AND SHALL BE DISPOSED OF OFF-SITE IN A MANNER MEETING ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL SIGNS, MAILBOXES, ETC.
- ANY DAMAGE TO ITEMS NOT NOTED TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION WITH NO ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVAL, RELOCATION OR PROTECTING EXISTING UTILITY LINES, POLE, ETC.

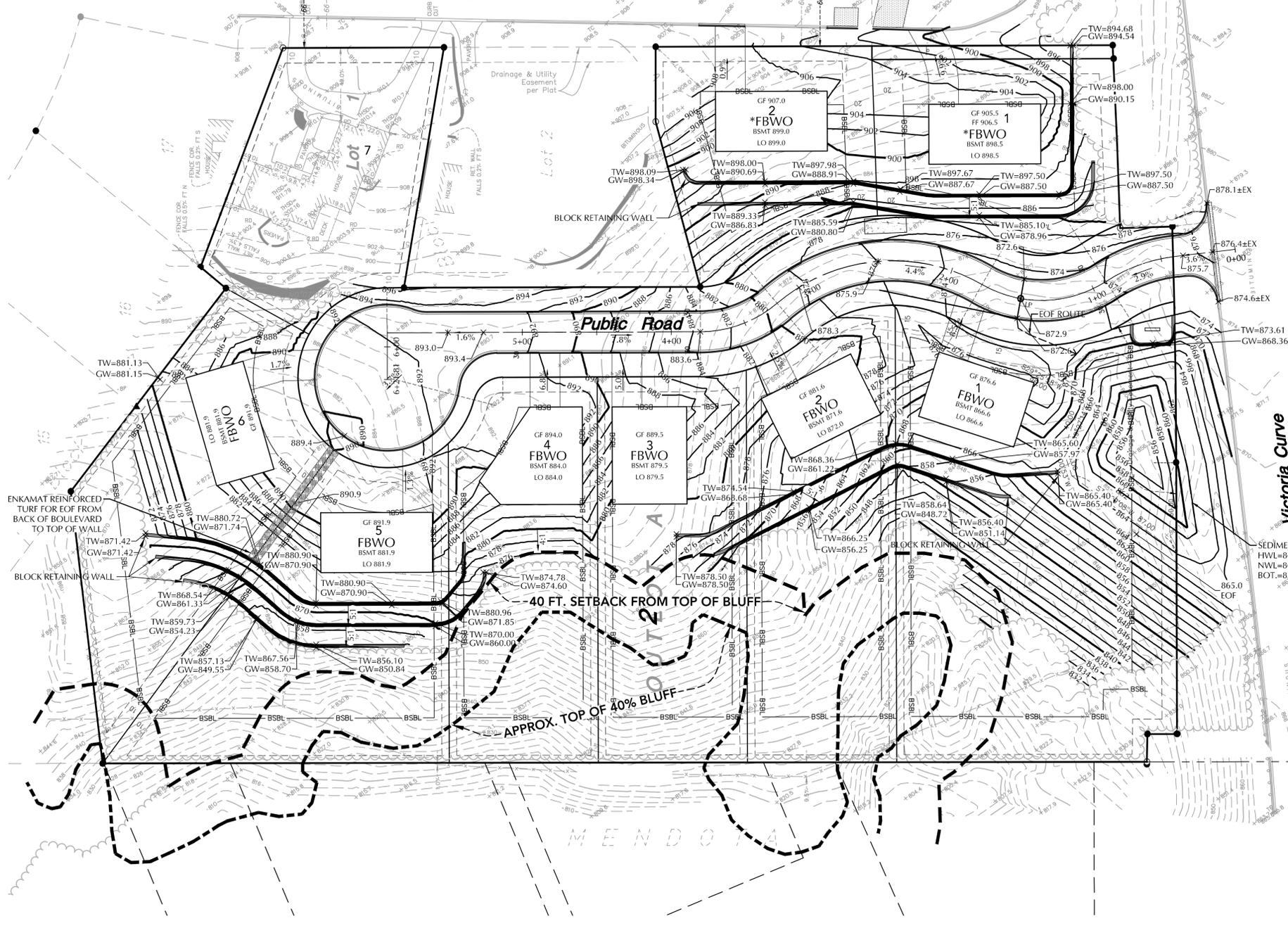
Block 2 BURN'S

Glenhill Road

State Hwy No. 110

MINN'T ROW PLAT NO. 19-103

Victoria Curve



LEGEND

EXISTING	PROPOSED
	CATCH BASIN
	STORM MANHOLE
	FLARED END SECTION
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE
	POST INDICATOR VALVE
	WATER MANHOLE / WELL
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	GAS METER
	TELEPHONE PEDESTAL
	SIGN
	BENCHMARK
	SOIL BORING
	PARKING STALL COUNT
	ACCESSIBLE PARKING STALL
	STORM SEWER
	DRAIN TILE
	SANITARY SEWER
	FORCE MAIN
	WATERMAIN
	SANITARY SEWER SERVICE
	WATER SERVICE
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND GAS
	UNDERGROUND TELEPHONE
	OVERHEAD UTILITY
	FENCE
	CHAIN LINK FENCE
	CONCRETE CURB
	RETAINING WALL
	CONCRETE
	NO PARKING
	BUILDING
	CONTOUR
	SPOT ELEVATION
	DIRECTION OF FLOW
	TREE LINE
	PARKING SETBACK LINE
	BUILDING SETBACK LINE

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Project Lead	MJS
Drawn By	MJS
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C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. XX), DATED MARCH XX, 2020 AS PREPARED BY BRAUN INTERTEC FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS, OR AS DIRECTED BY CITY. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- A STREET SWEEPER MUST BE AVAILABLE WITHIN 3 HOURS UPON NOTICE FROM THE CITY THAT THE STREETS NEED TO BE SWEEPED.
- THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
- INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. SOME EROSION CONTROLS SUCH AS BALE CHECKS AND TEMPORARY SILT PONDS MAY BE INSTALLED AS GRADING OCCURS IN SPECIFIC AREAS. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE MPCA NPDES PERMIT. THE AREA TO BE DISTURBED SHALL BE MINIMIZED AND TURF SHALL BE ESTABLISHED WITHIN THE TIME REQUIRED.
- GRADES SHOWN ARE FINISHED GRADES.
- FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.

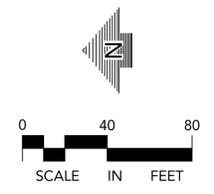


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**GRADING
PLAN
C3-1**

Plotted: 09/28/2020 6:9 PM W:\2018\18524\CADD\DATA\CIVIL.dwg Sheet Files\C3-1 GRADING PLAN

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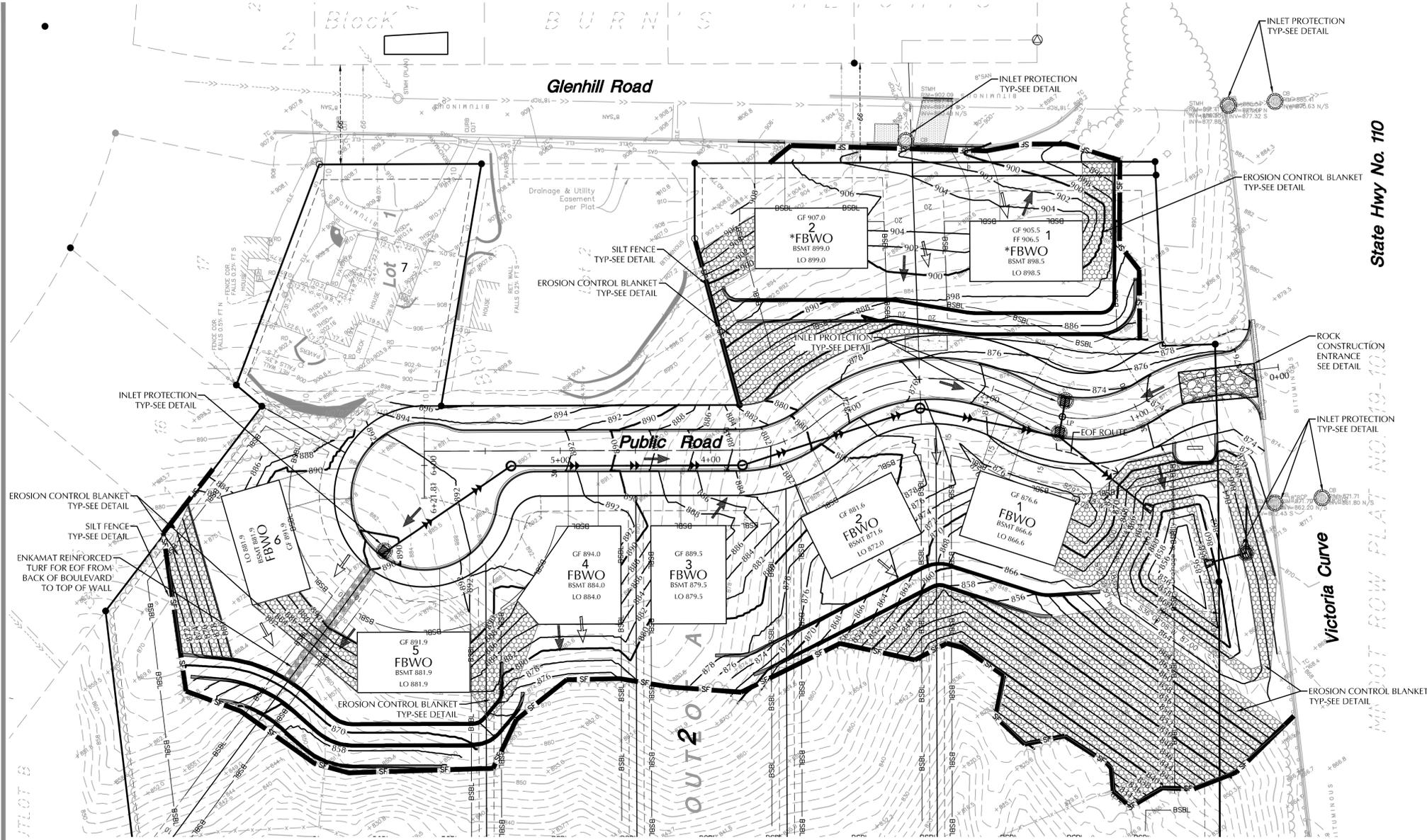
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**SWPPP
C3-2**



LEGEND

EXISTING	PROPOSED

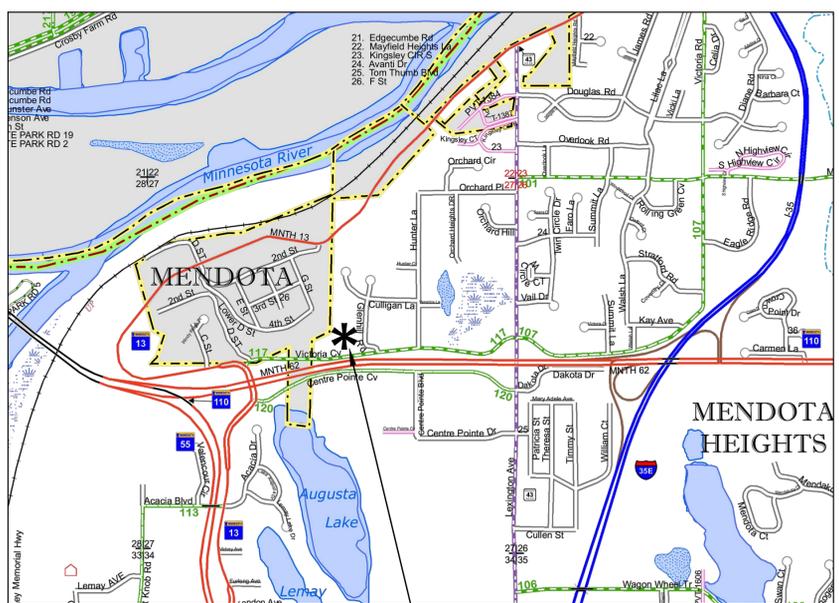
SWPPP LEGEND

	SILT FENCE
	BIO ROLLS
	INLET PROTECTION
	EXISTING DRAINAGE PATTERN
	PROPOSED DRAINAGE PATTERN
	EROSION CONTROL BLANKET

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	NA
SILT FENCE (STANDARD)	LF	1,520
EROSION CONTROL BLANKET	SY	4804
INLET PROTECTION	EA	8
TRENCH DRAIN INLET PROTECTION	LF	NA
BIO-ROLL	LF	NA

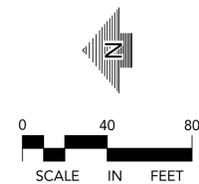
SITE VICINITY MAP



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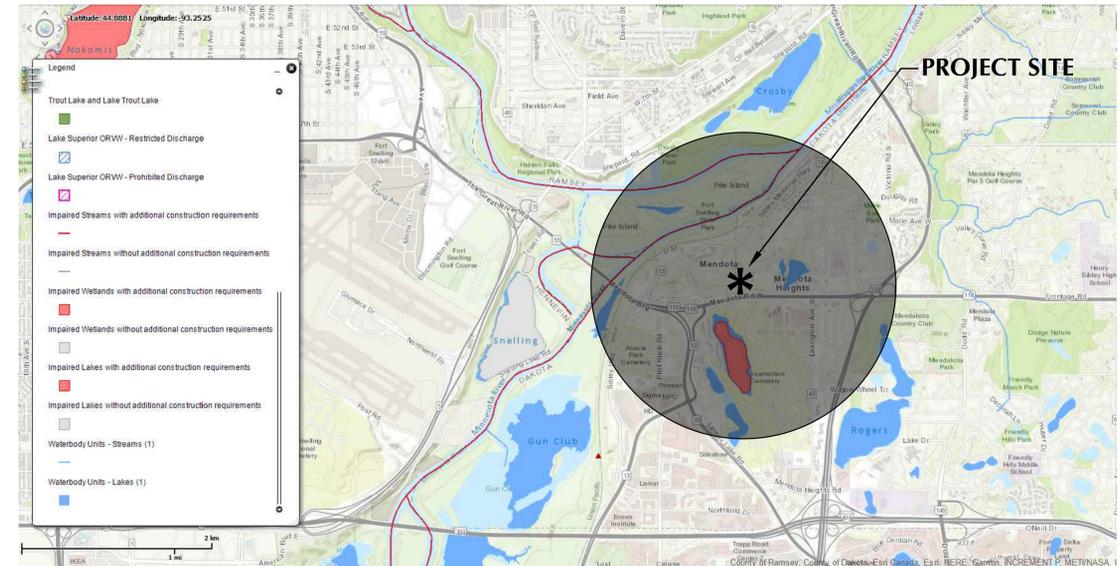


THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

- INSTALL VEHICLE TRACKING BMP
 - INSTALL EROSION CONTROL
 - CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - REMOVE PAVEMENTS AND UTILITIES
 - ROUGH GRADE SITE
 - IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - INSTALL PAVEMENTS AND WALKS
 - FINAL GRADE SITE
 - REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS
 - SEED AND MULCH
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
3. SITE DATA:
 AREA OF DISTURBANCE: 4.45 AC
 PRE-CONSTRUCTION IMPERVIOUS AREA: 0.18 AC
 POST-CONSTRUCTION IMPERVIOUS AREA: 1.06 AC
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
 DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET
 - ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
 - NO DEWATERING IS EXPECTED TO OCCUR ONSITE.
 - TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
 - SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
 - SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
 - EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
 - NO ENGINE DEGREASING IS ALLOWED ON SITE.
 - THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C., PART II.B.-F., PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
 - TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
 - TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
 - INSPECTIONS
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
 - STABILIZED AREAS: ONCE EVERY 30 DAYS
 - FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 - INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
 - MINIMUM MAINTENANCE
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN 7(DAYS) SEVEN DAYS
 - CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS

- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL CONTROL OF THE SITE.
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
- SWPPP MUST BE AMENDED WHEN:
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
- CONCRETE WASHOUT AREA
 - CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL".
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- PIPE OULLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
- FINAL STABILIZATION
 FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- RESPONSIBILITIES
 - THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:
 CONTACT: _____
 COMPANY: _____
 PHONE: _____
 - THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM:
 CONTACT: _____
 COMPANY: _____
 PHONE: _____
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMP'S.

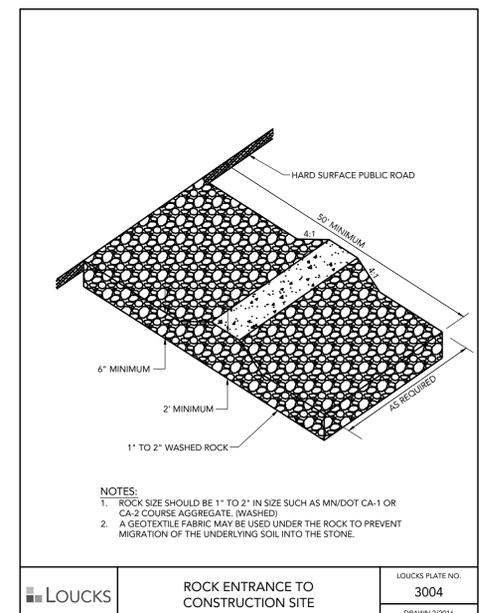
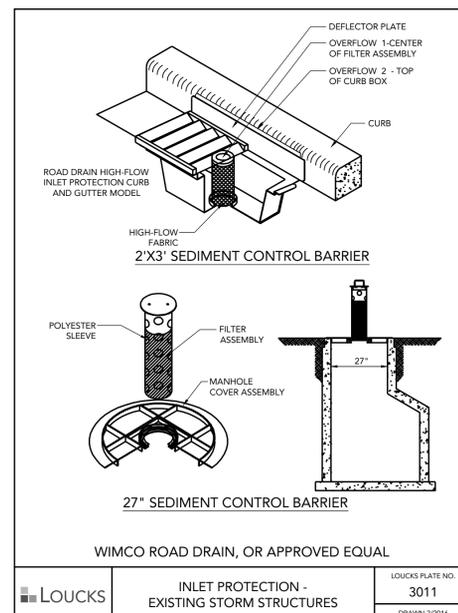
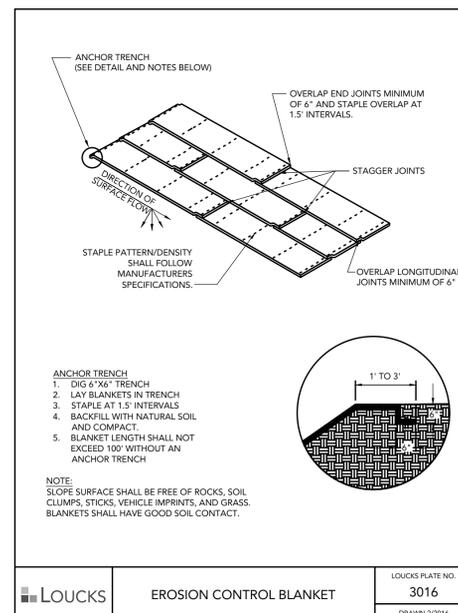
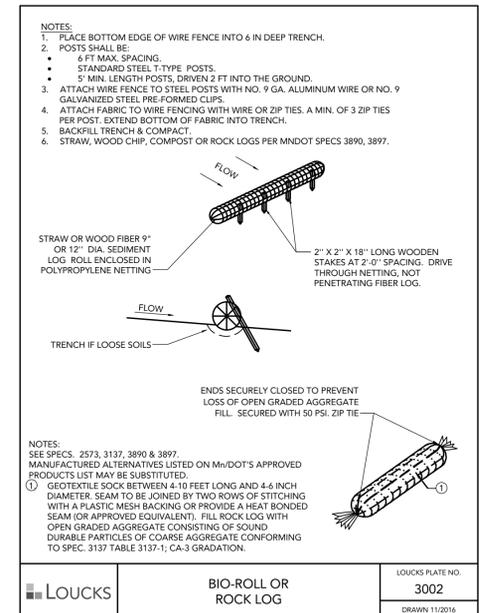
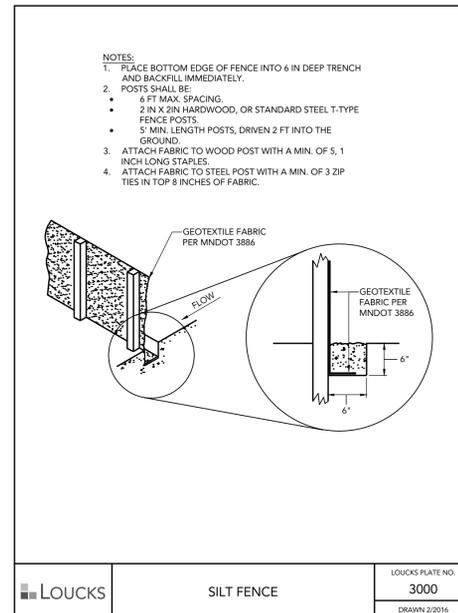
CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP



VALLEY VIEW
 OAK 3RD
 ADDITION
 MENDOTA HEIGHTS, MN

LARRY & MARY
 CULLIGAN
 1941 GLENHILL ROAD
 MENDOTA HEIGHTS, MN 55118

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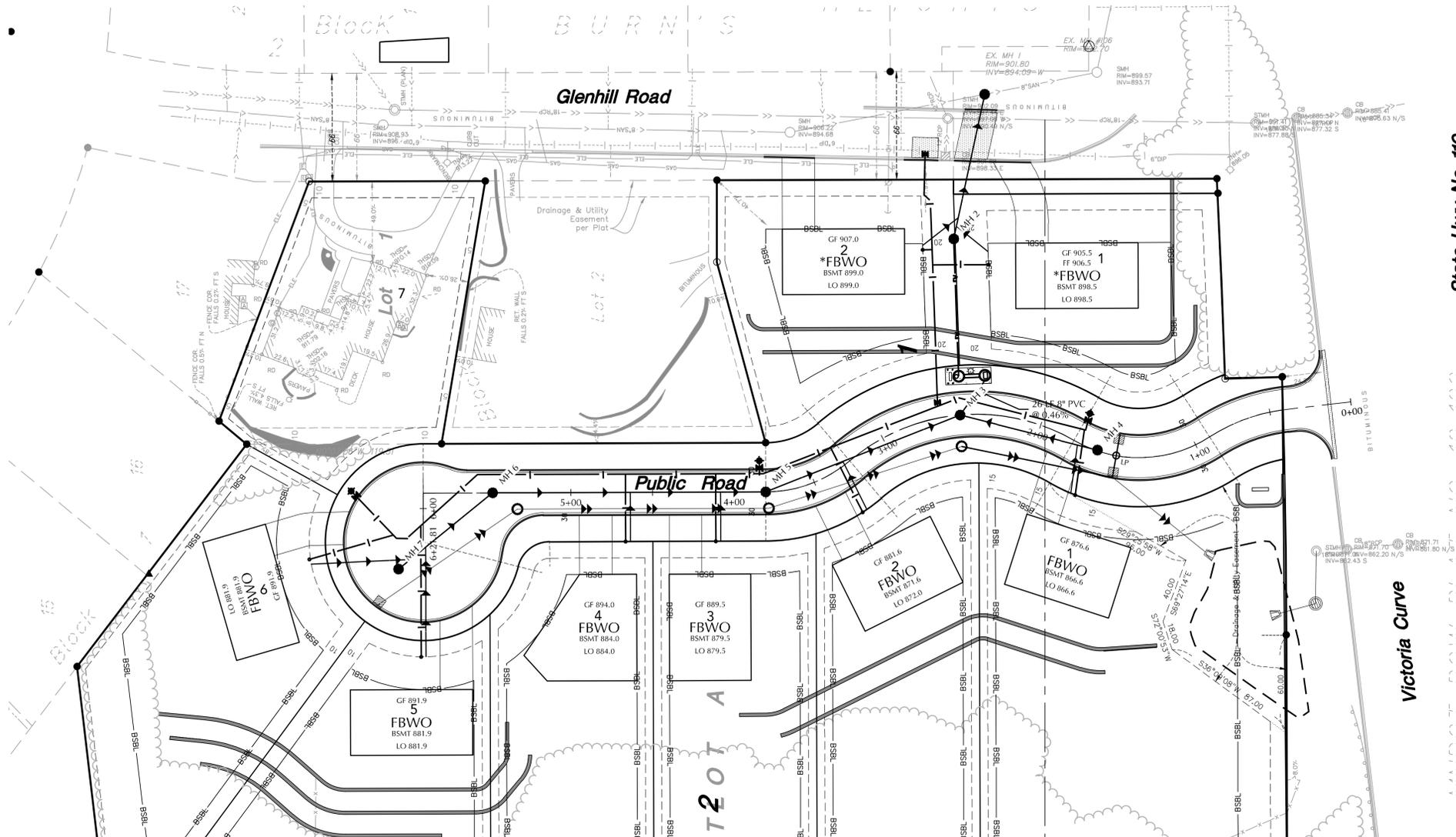
SUBMITTAL/REVISIONS
 06/29/2020 CITY SUBMITTAL
 09/28/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Minnesota.
 Michael J. St. Martin - PE 24440
 License No. Date

QUALITY CONTROL
 Loucks Project No. 018524
 Project Lead MJ5
 Drawn By MJ5
 Checked By MJ5
 Review Date

C0-1	COVER SHEET
C1-1	EXISTING CONDITIONS & DEMOLITION PLAN
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C3-1	GRADING PLAN
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C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

SWPPP NOTES
 C3-3

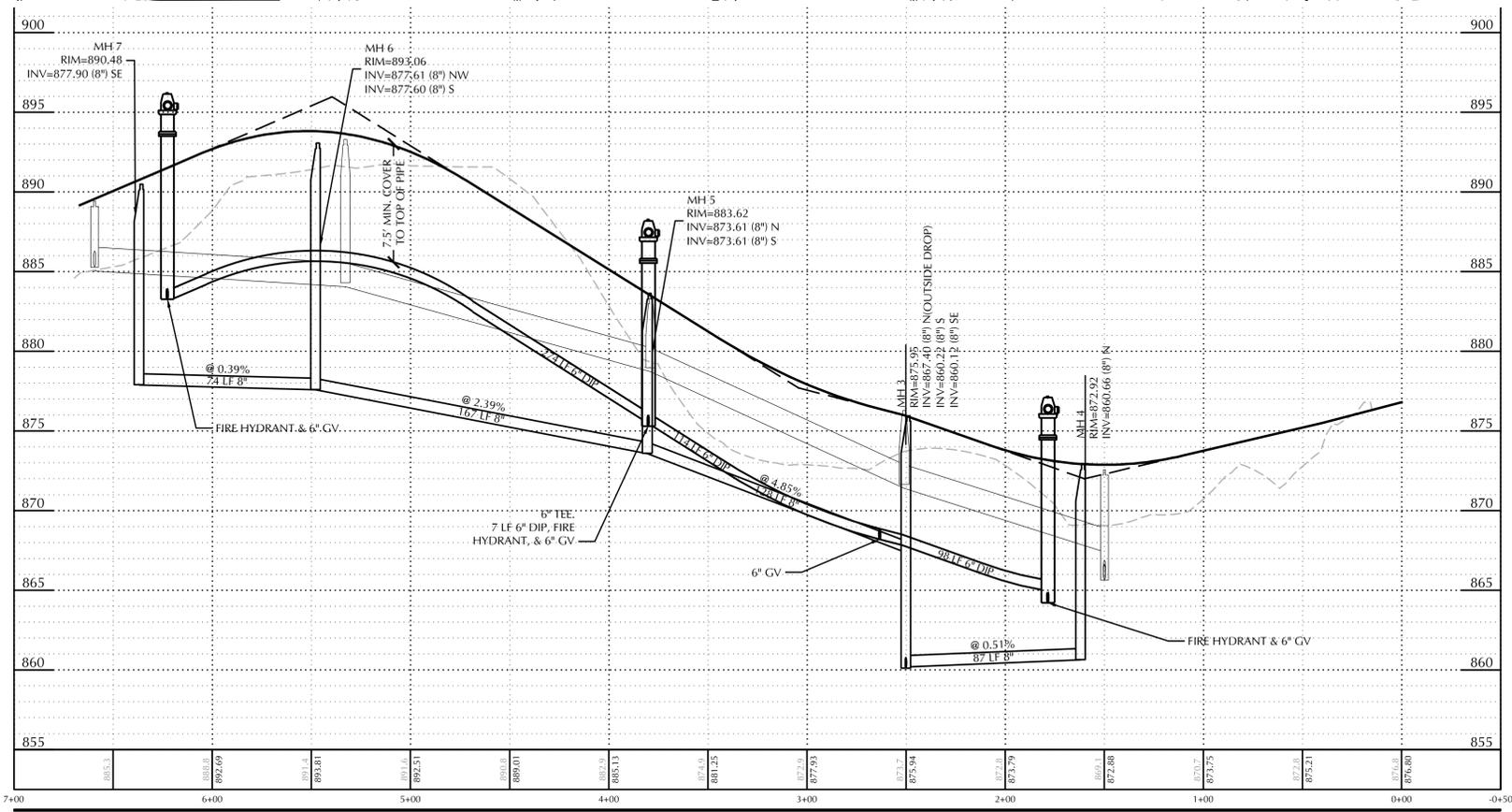


EXISTING	PROPOSED

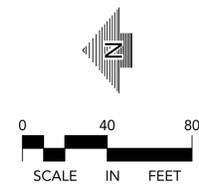
UTILITY NOTES

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- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES FROM THE WATERMAIN UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 7.5 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 7.5 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- PROPOSED PIPE MATERIALS:

WATERMAIN	DIP	6" DIAMETER
SANITARY SEWER	PVC SDR 35	10" DIAMETER
FORCEMAIN	PE	6" DIAMETER
- CONTRACTOR AND MANHOLE FABRICATOR SHALL SUMP (LOWER) ALL STORM SEWER CATCH BASIN CASTINGS WITHIN PAVED AREAS 0.16 FEET OR 2-INCHES BELOW THE RIM ELEVATION DEPICTED ON THE UTILITY PLAN.
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- THE CITY SHALL OPERATE ALL GATE VALVES.
- PIPE LENGTHS SHOWN ON THE PLAN DO NOT INCLUDE THE APRON SECTION.



WARNING:
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OAK 3RD
ADDITION**
MENDOTA HEIGHTS, MN

LARRY & MARY
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1941 GLENHILL ROAD
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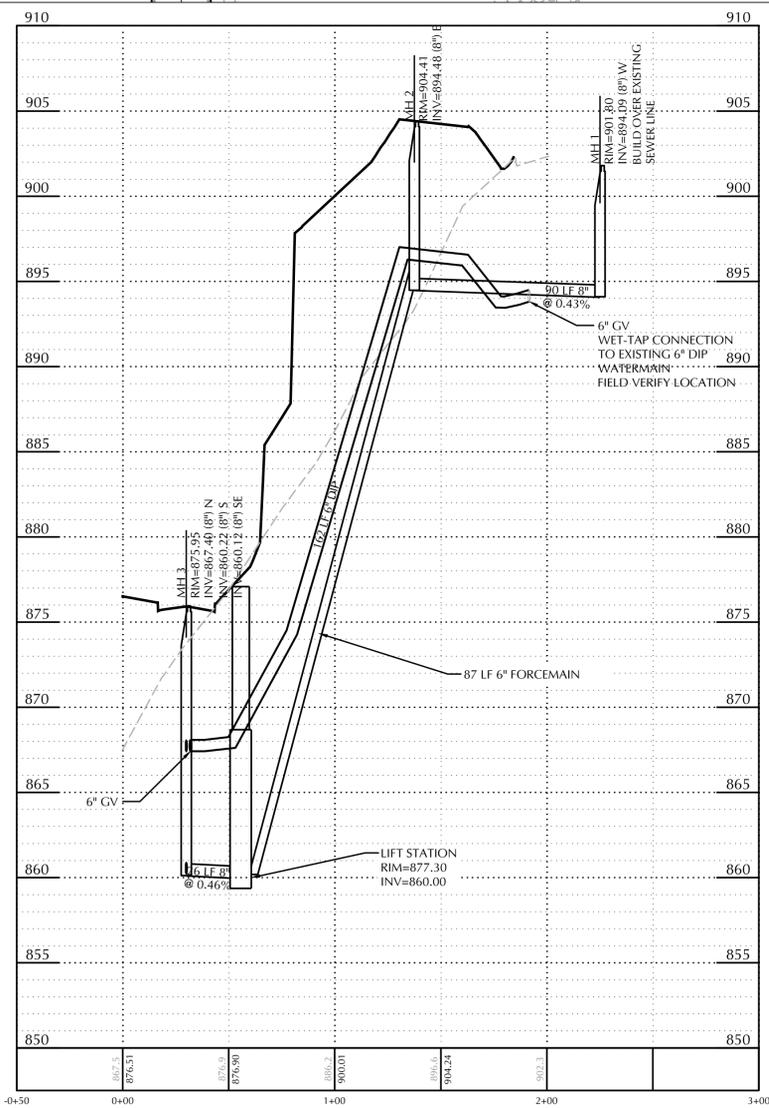
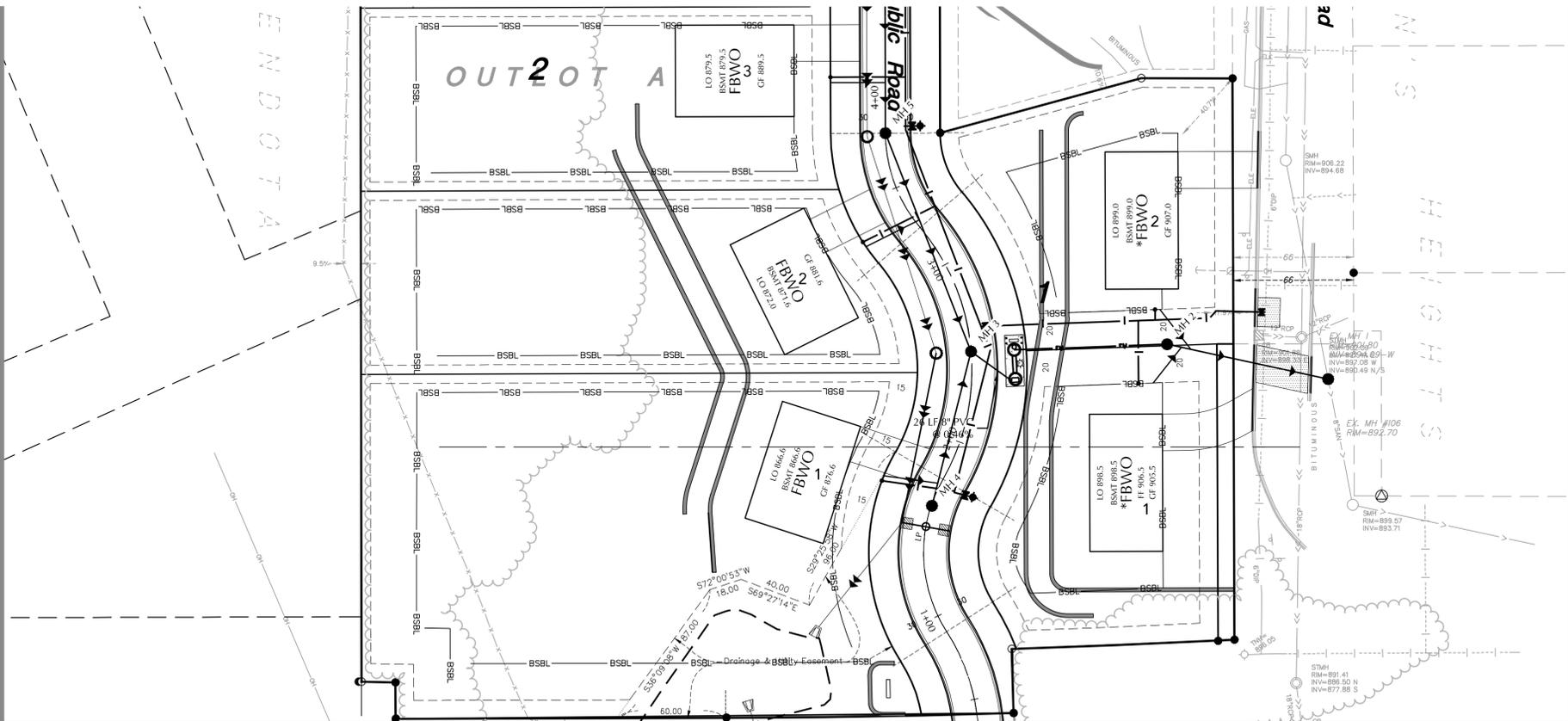
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NOT FOR CONSTRUCTION
Michael J. St. Martin - PE 24440
Date

QUALITY CONTROL

Loucks Project No.	018524
Project Lead	MJS
Drawn By	MJS
Checked By	MJS
Review Date	

C0-1	COVER SHEET
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C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

**SANITARY
SEWER &
WATERMAIN
PLAN**
C4-1



LEGEND	
EXISTING	PROPOSED
	CATCH BASIN
	STORM MANHOLE
	FLARED END SECTION
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE
	POST INDICATOR VALVE
	WATER MANHOLE / WELL
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	GAS METER
	TELEPHONE PEDESTAL
	SIGN
	BENCHMARK
	SOIL BORING
	PARKING STALL COUNT
	ACCESSIBLE PARKING STALL
	STORM SEWER
	DRAIN TILE
	SANITARY SEWER
	FORCE MAIN
	WATERMAIN
	SANITARY SEWER SERVICE
	WATER SERVICE
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND GAS
	UNDERGROUND TELEPHONE
	OVERHEAD UTILITY
	FENCE
	CHAIN LINK FENCE
	CONCRETE CURB
	RETAINING WALL
	CONCRETE
	NO PARKING
	BUILDING
	CONTOUR
	SPOT ELEVATION
	DIRECTION OF FLOW
	TREE LINE
	PARKING SETBACK LINE
	BUILDING SETBACK LINE

UTILITY NOTES

- SEE SHEET C4-1 FOR UTILITY NOTES.

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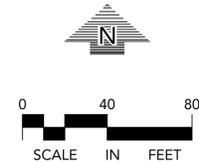
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**SANITARY
SEWER &
WATERMAIN
PLAN**
C4-2

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**STORM SEWER
& STREET PLAN**
C5-1

LEGEND

EXISTING	PROPOSED

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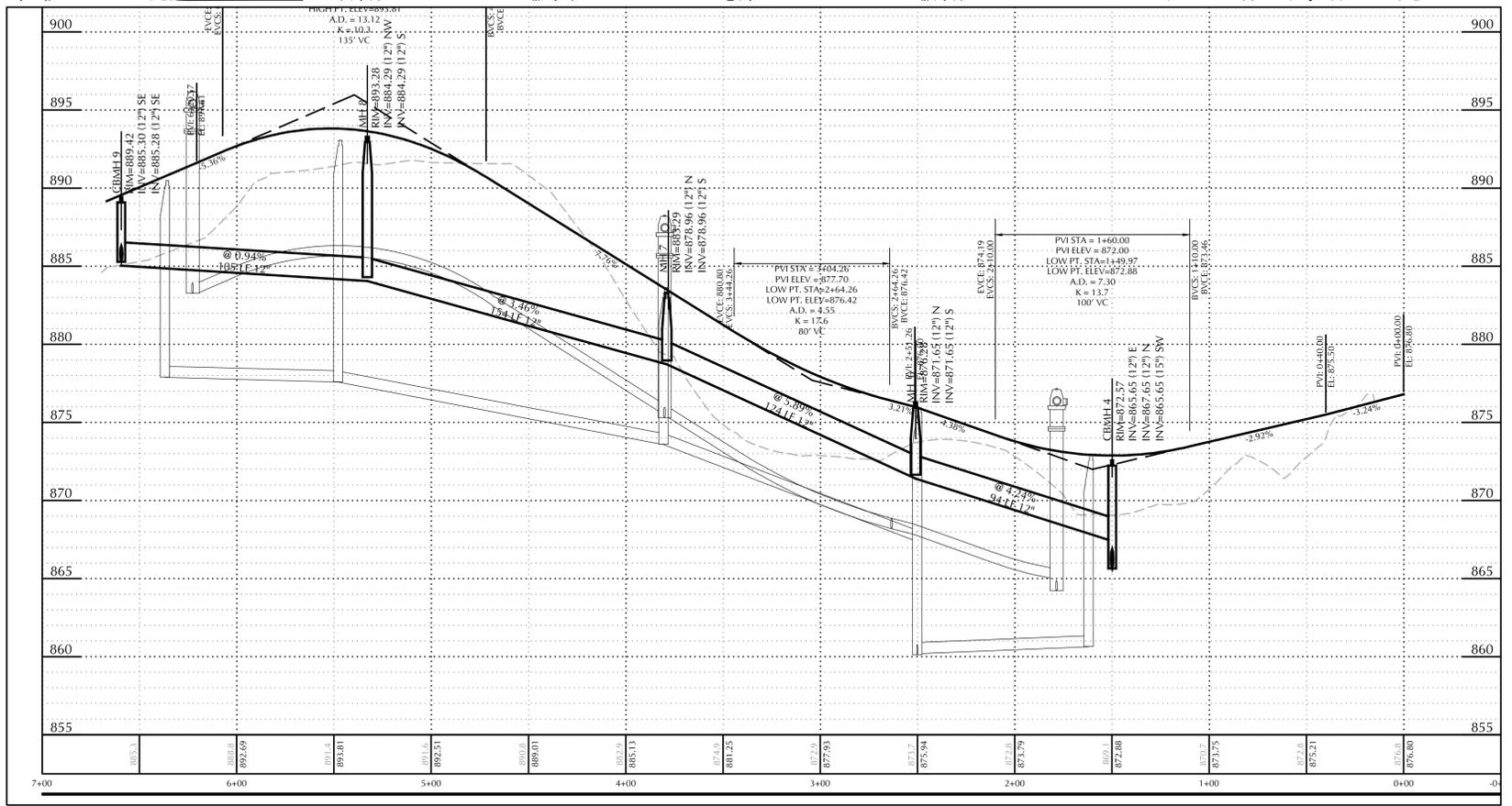
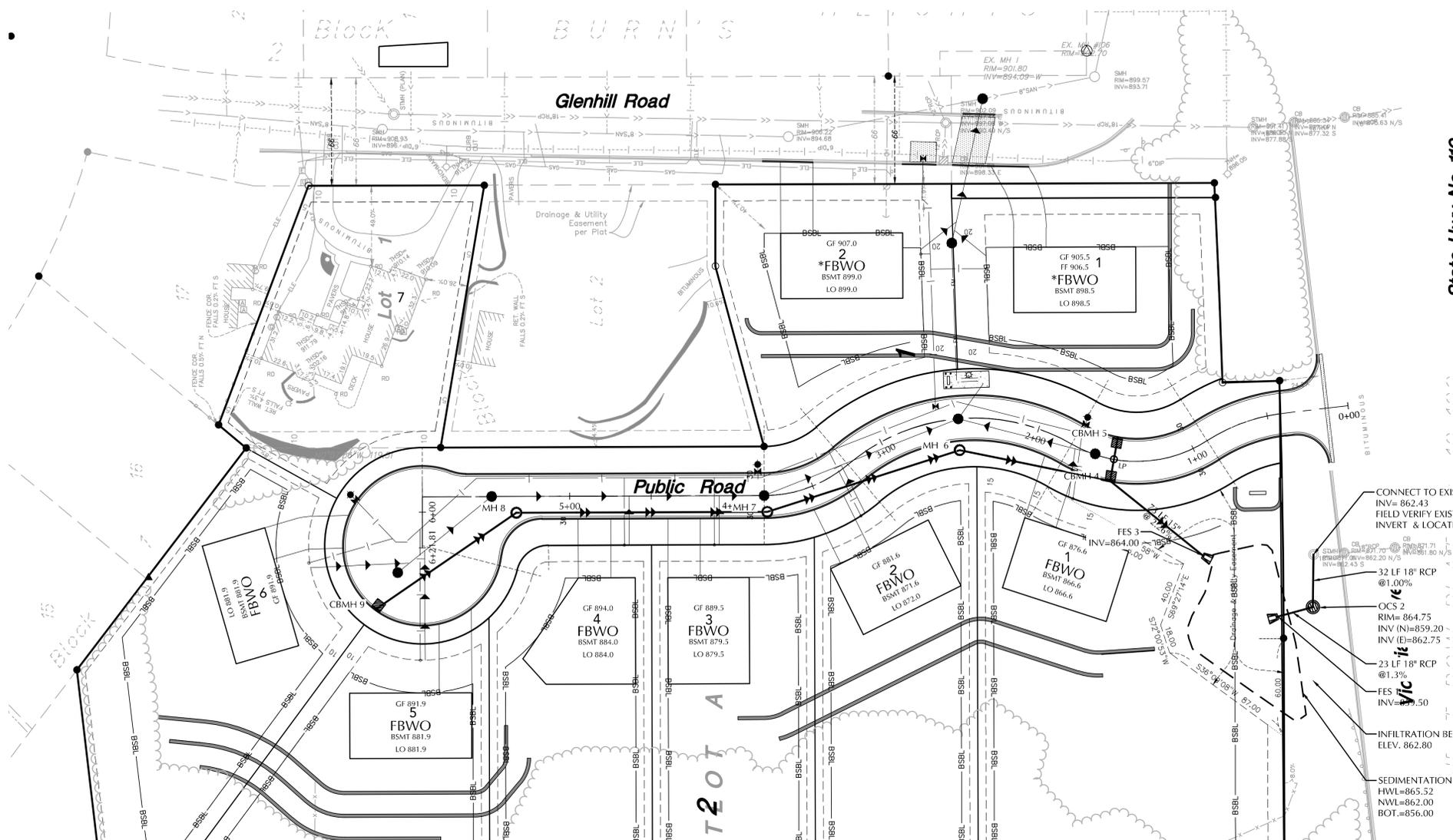
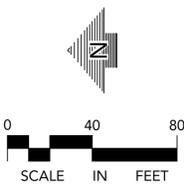


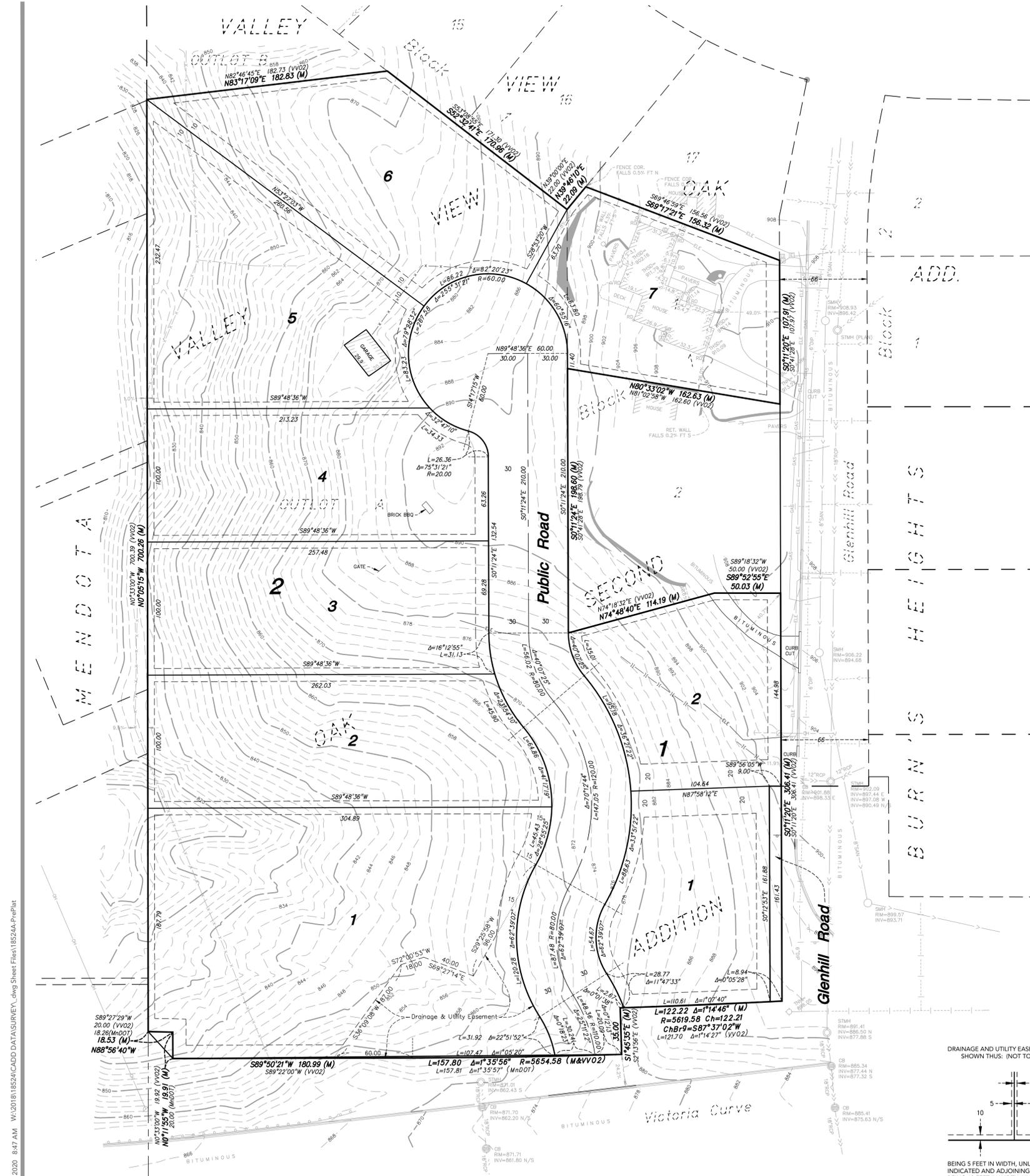
CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

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MNDOT ROW PLAT NO. 19-103 State Hwy No. 110

LEGAL DESCRIPTION

(Per Dakota County Tax records)
 Lot 1, Block 1, and OUTLOT A, VALLEY VIEW OAK 2ND ADDITION, Dakota County, Minnesota.

GENERAL NOTES

- SURVEYOR:**
 Loucks
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55330
 763-424-5505
- OWNER/DEVELOPER:**
 Larry & Mary Culligan
 1941 Glenhill Road
 Mendota Heights, MN 55118
 612-308-0874
- Prepared June 18, 2020.
 - The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 1941 Glenhill Road, Mendota Heights, MN 55118.
 - The bearings for this survey are based on the Dakota County Coordinate System NAD 83 (1986 Adjust).
 - Benchmark: MNDOT monument "1918H" (GSID Station 101785).
 An aluminum alloy rod located at the southwest corner of Trunk Highway No. 110 and Lexington Ave. S.
 Elevation = 921.70 (NGVD29)
 Site Benchmark:
 Top nut of hydrant located at the northeast corner of the site along the west side of Glenhill Road.
 Elevation = 913.22 (NGVD29)
 - This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 270370018E, Community Panel No. 270110 0018 E, and Flood Insurance Rate Map No. 270370019E, Community Panel No. 270110 0019 E effective date of December 2, 2011.
 - The field work was completed on March 5, 2020.

ZONING INFORMATION

Current Zoning: R-1 (One Family Residential District)
 Any zoning classification, setback requirements, height and floor space area restrictions, and parking requirements, shown hereon, was researched to the best of our ability and is open to interpretation. Per the City of Mendota Heights Zoning Map and City Code, on June 8, 2020, information for the subject property is as follows:

- Current Setbacks:**
 Front 30 feet
 Side 10 feet or 1/2 the height of the structure contiguous to side yard
 Rear 30 feet or 20% of the average lot depth, whichever is greater
 Height 2 stories or 25 feet, whichever is lesser in height
 Width 100 feet
- Proposed Zoning:** R-1 (One Family Residential District)
- Proposed Setbacks:**
 Front 30 feet
 Side 10 feet
 Rear 30 feet

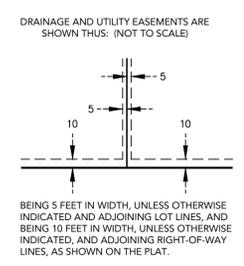
SITE DATA

Areas

Lot 1, Block 1	= 18,851 +/- square feet or 0.43 +/- acres
Lot 2, Block 1	= 19,016 +/- square feet or 0.44 +/- acres
Lot 1, Block 2	= 54,250 +/- square feet or 1.24 +/- acres
Lot 2, Block 2	= 28,738 +/- square feet or 0.66 +/- acres
Lot 3, Block 2	= 25,801 +/- square feet or 0.59 +/- acres
Lot 4, Block 2	= 25,095 +/- square feet or 0.58 +/- acres
Lot 5, Block 2	= 31,743 +/- square feet or 0.73 +/- acres
Lot 6, Block 2	= 27,952 +/- square feet or 0.64 +/- acres
Lot 7, Block 2	= 21,189 +/- square feet or 0.49 +/- acres
Glenhill Road	= 1,449 +/- square feet or 0.03 +/- acres
Public Road	= 41,223 +/- square feet or 0.95 +/- acres
Total Plat Area	= 295,307 +/- square feet or 6.78 +/- acres

LEGEND

● FOUND 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 10943" UNLESS SHOWN OTHERWISE	⊠ CATCH BASIN	—> STORM SEWER
○ SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"	⊙ STORM MANHOLE	—> SANITARY SEWER
● FOUND CAST IRON MONUMENT	○ SANITARY MANHOLE	— — WATERMAIN
▲ FOUND PK NAIL	⊕ HYDRANT	—S— SANITARY SEWER SERVICE
▲ ALUMINUM DISC	⊕ GATE VALVE	—W— WATER SERVICE
(P) RECORD DIMENSION PER PLAT	⊕ LIGHT POLE	—C— CULVERT
(D) RECORD DIMENSION PER DEED DESCRIPTION	⊕ POWER POLE	—M— MAPPED STORM SEWER
() INFORMATION AS SHOWN ON PLANS	⊕ AIR CONDITIONING UNIT	—MS— MAPPED SANITARY SEWER
PLAN NOT FIELD VERIFIED	⊕ ELECTRIC METER	—E— MAPPED WATERMAIN
OB CATCH BASIN	⊕ ELECTRIC TRANSFORMER	—G— UNDERGROUND GAS
SMH SANITARY MANHOLE	⊕ FLARED END SECTION	—TEL— UNDERGROUND TELEPHONE
STMH STORM MANHOLE	⊕ GAS METER	—OH— OVERHEAD UTILITY
TC TOP OF CURB	⊕ GUY WIRE	—X— BARBED WIRE FENCE
THSD ELEV @ THRESHOLD	⊕ GUY POLE	— — IRON FENCE
TNI TOP NUT HYDRANT	⊕ HAND HOLE	— — WOOD FENCE
STRUCTURE RIM & INVERT	⊕ LIGHT POLE	—G— GUARDRAIL
	⊕ ROOF DRAIN	—C— CONCRETE CURB
	⊕ SIGN	—R— RETAINING WALL
	⊕ TELEPHONE PEDESTAL	—C— CONCRETE
	⊕ UTILITY PEDESTAL	—P— PAVERS
	⊕ YARD LIGHT	—E— EXISTING BUILDING
		—O— CONTOUR
		⊕72.5 SPOT ELEVATION



VALLEY VIEW OAK 3RD ADDITION
 MENDOTA HEIGHTS, MN

LARRY & MARY CULLIGAN
 1941 GLENHILL ROAD
 MENDOTA HEIGHTS, MN 55118

LOUCKS
 PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.louckscinc.com

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SUBMITTAL/REVISIONS

06/29/20	CITY SUBMITTAL
08/26/20	CITY COMMENTS

PROFESSIONAL SIGNATURE
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski - PLS 48988
 License No. 06/26/20
 Date

QUALITY CONTROL

Loucks Project No.	18-524
Project Lead	MLS
Drawn By	SFH/SFM
Checked By	MLS
Field Crew	



PRELIMINARY PLAT
C6-1

Plotted: 08/26/2020 8:47 AM W:\2018\18524\CADD\DATA\SURVEY_CADD_Sheet_Files\18524A-PrePlat

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06/29/2020 CITY SUBMITTAL
09/28/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

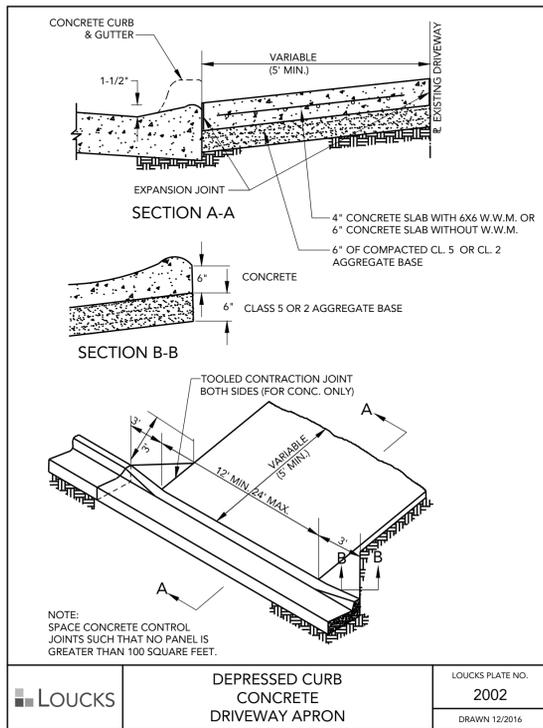
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License No. Michael J. St. Martin - PE 24440
Date

QUALITY CONTROL

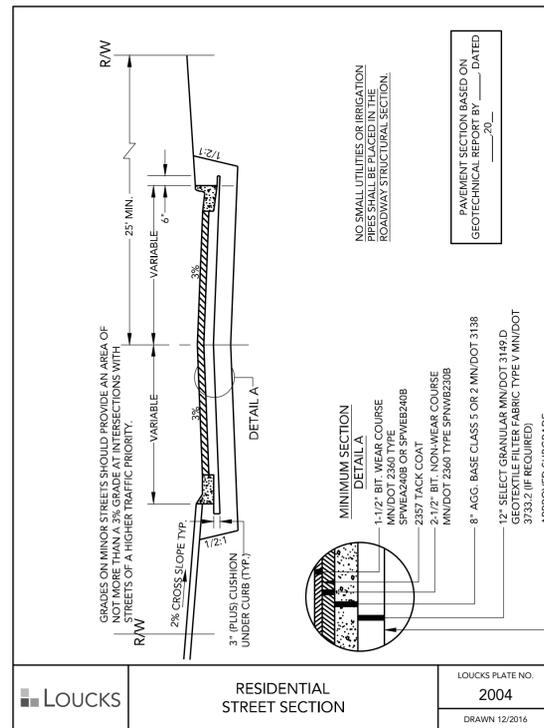
Loucks Project No. 018524
Project Lead MJS
Drawn By MJS
Checked By MJS
Review Date

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C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS



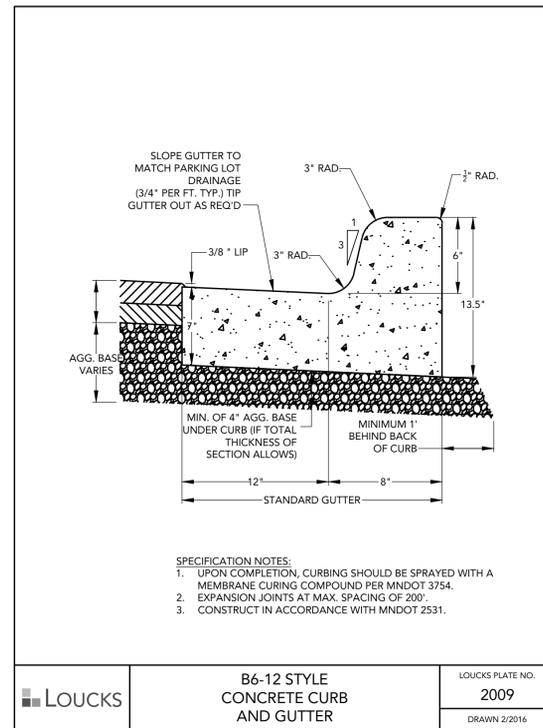
DEPRESSED CURB
CONCRETE
DRIVEWAY APRON

LOUCKS PLATE NO.
2002
DRAWN 12/2016



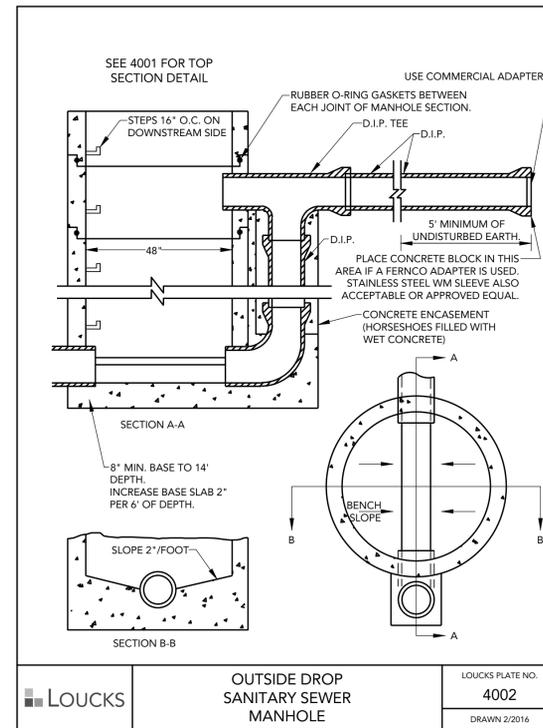
RESIDENTIAL
STREET SECTION

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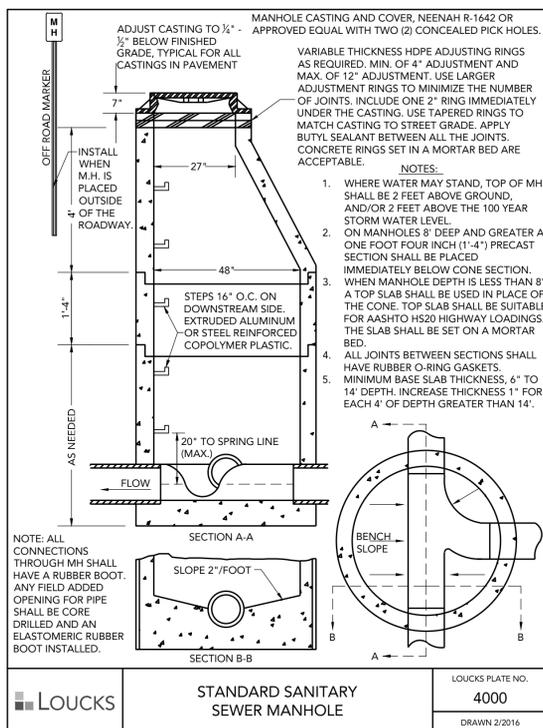
B6-12 STYLE
CONCRETE CURB
AND GUTTER

LOUCKS PLATE NO.
2009
DRAWN 2/2016



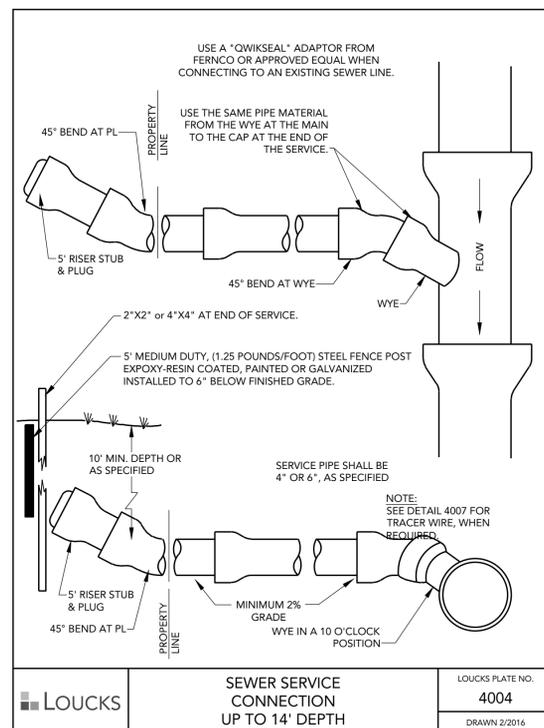
OUTSIDE DROP
SANITARY SEWER
MANHOLE

LOUCKS PLATE NO.
4002
DRAWN 2/2016



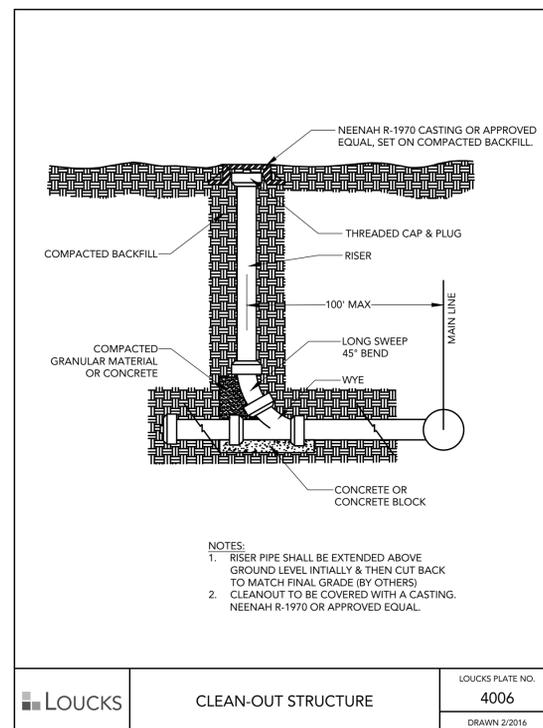
STANDARD SANITARY
SEWER MANHOLE

LOUCKS PLATE NO.
4000
DRAWN 2/2016



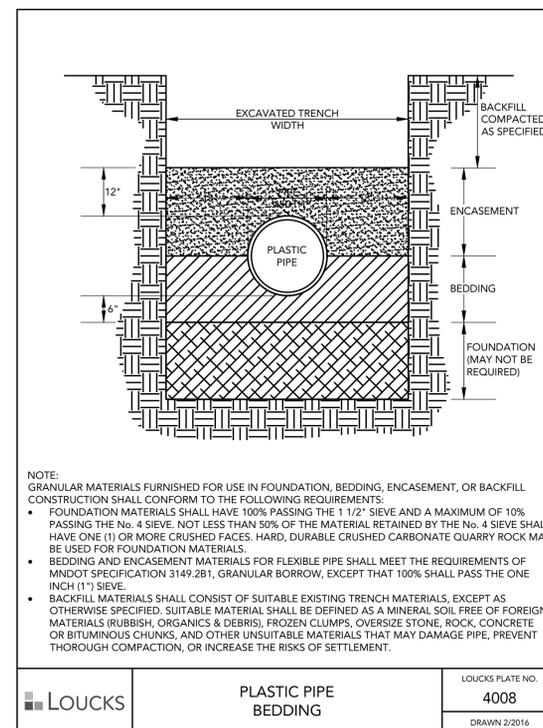
SEWER SERVICE
CONNECTION
UP TO 14' DEPTH

LOUCKS PLATE NO.
4004
DRAWN 2/2016



CLEAN-OUT STRUCTURE

LOUCKS PLATE NO.
4006
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PLASTIC PIPE
BEDDING

LOUCKS PLATE NO.
4008
DRAWN 2/2016

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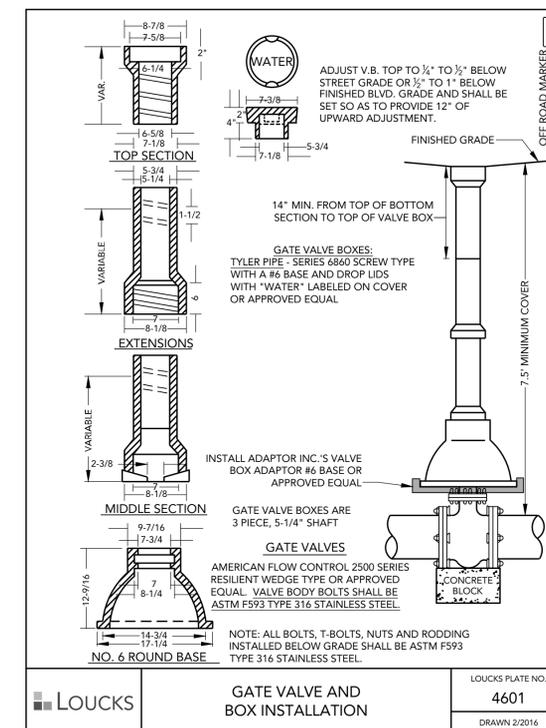
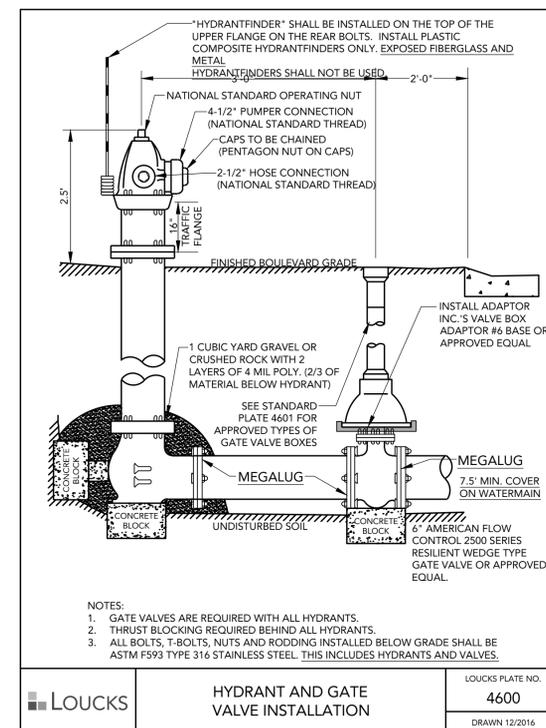
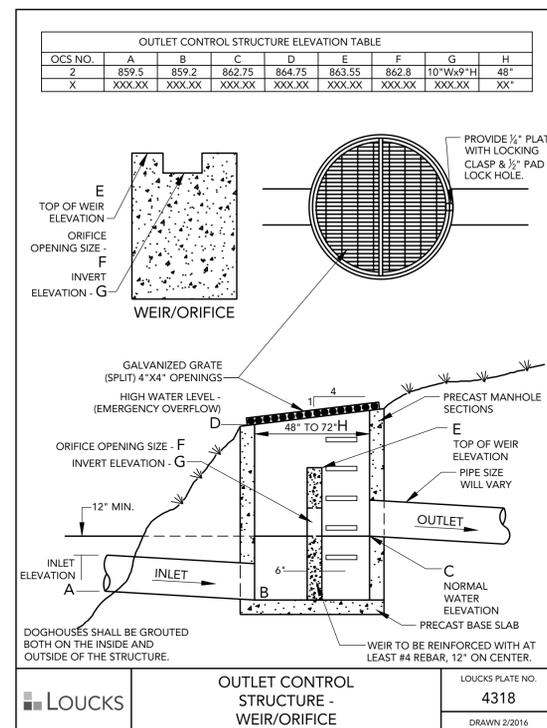
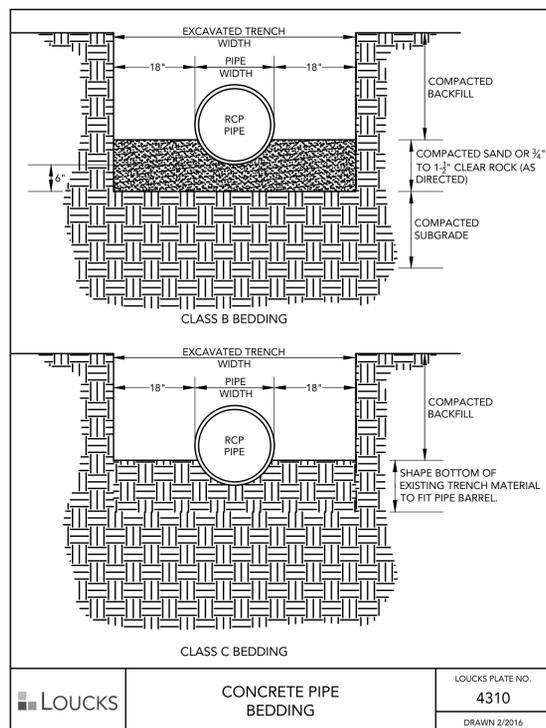
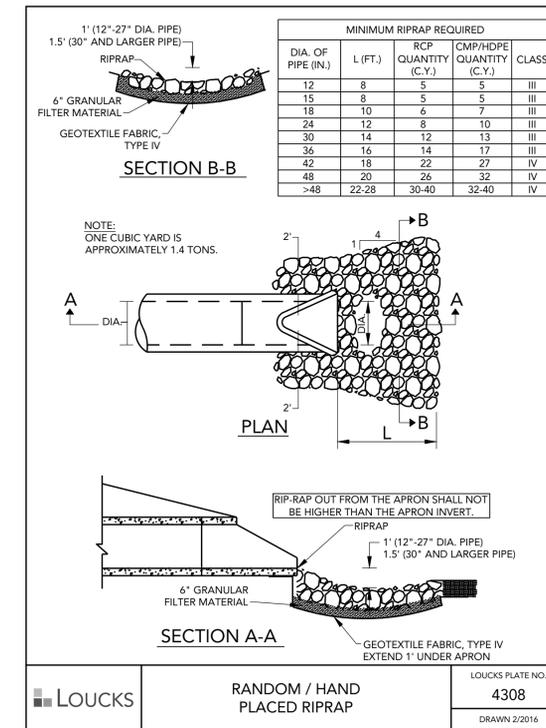
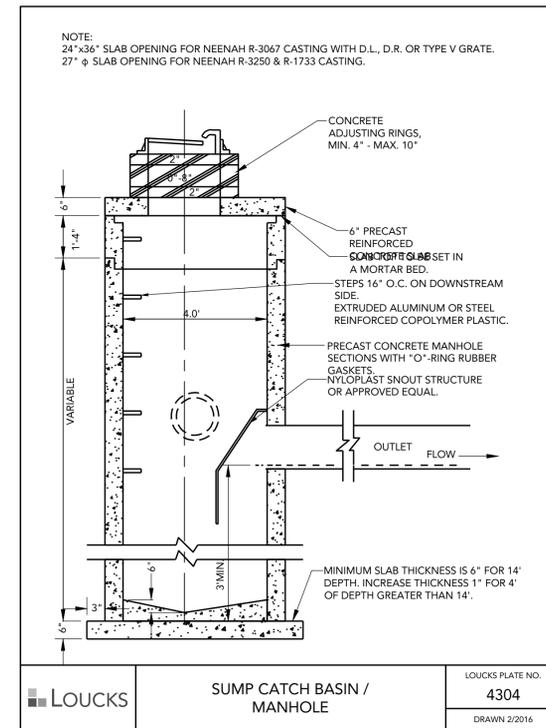
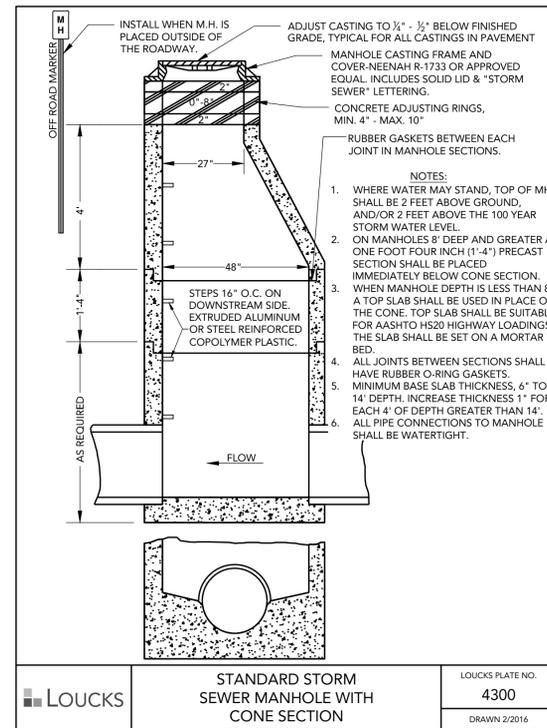
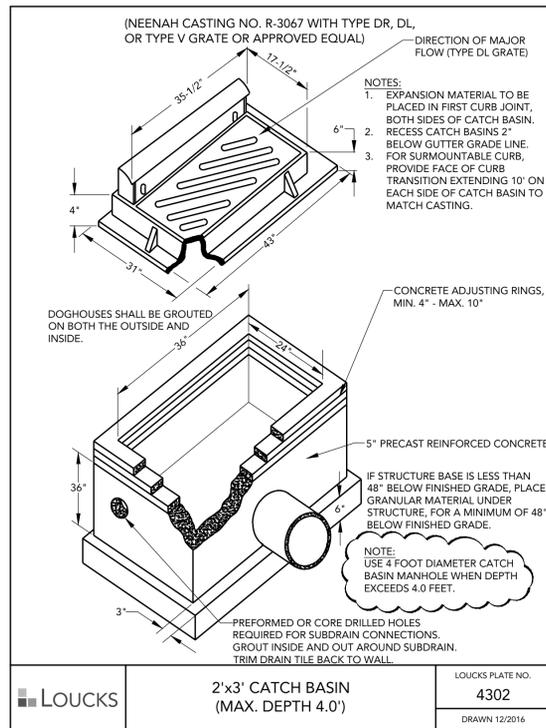
PROFESSIONAL SIGNATURE

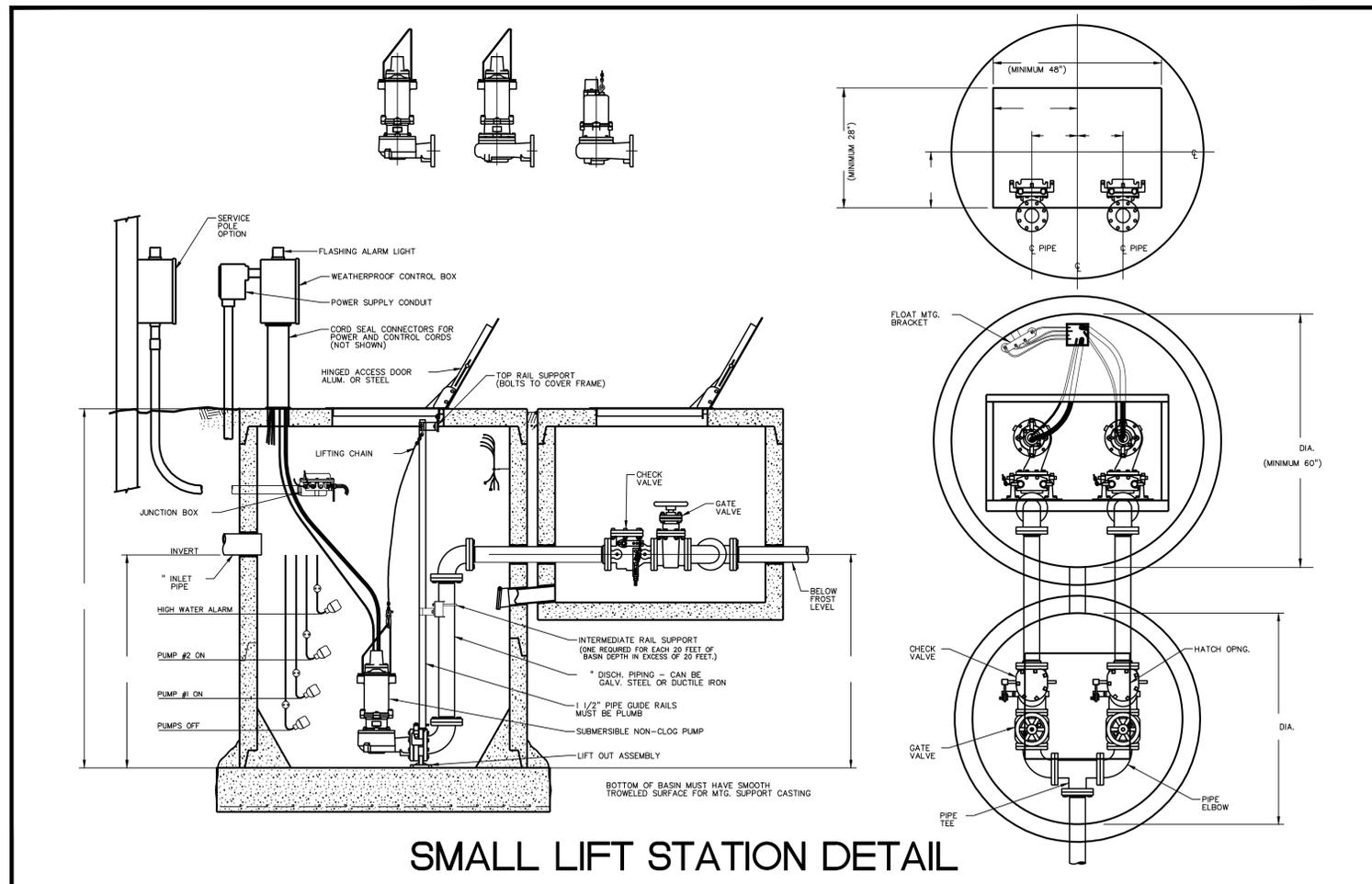
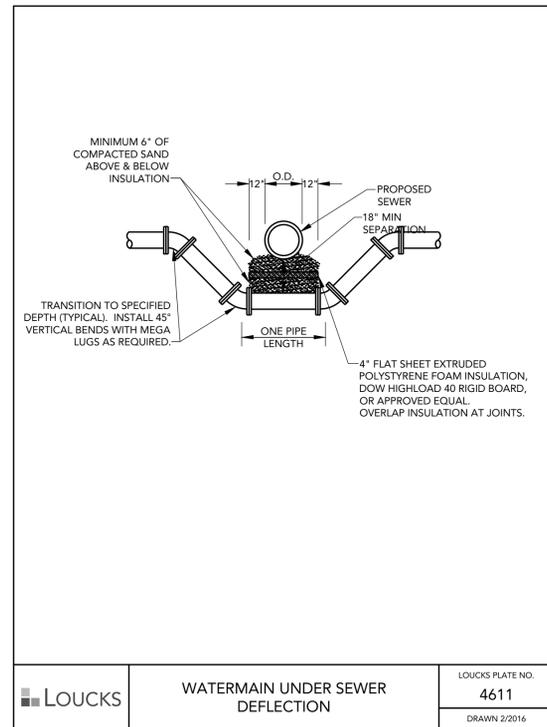
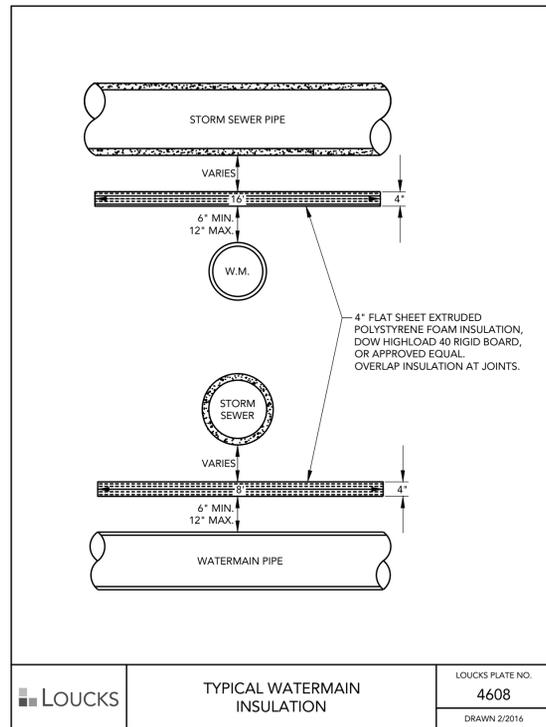
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NOT FOR CONSTRUCTION
Michael J. St. Martin - PE 24440
Date

QUALITY CONTROL

Loucks Project No. 018524
Project Lead MJS
Drawn By MJS
Checked By MJS
Review Date

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09/28/2020 REV. CITY SUBMITTAL

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**VALLEY VIEW
OAK 3RD
ADDITION**

MENDOTA HEIGHTS, MN

LARRY & MARY
CULLIGAN

1941 GLENHILL ROAD
MENDOTA HEIGHTS, MN 55118



PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksin.com

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. CONTRACTOR TO INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

THE EXISTING VEGETATION ON SITE CONSISTS MOSTLY OF UNDERSTORY BRUSH WITH A SCATTERING OF OVERSTORY DECIDUOUS TREES. THE UNDERSTORY VEGETATION CONSISTS OF BUCKTHORN THAT IS DOMINATING THE GROUND COVER IN THE WOODED AREAS. OVERSTORY TREES ARE PRIMARILY ASH AND A FEW OAKS.

REFER TO SHEET L2-1 FOR FULL PLANT SCHEDULE, LANDSCAPE NOTES, LANDSCAPE DETAILS, AND IRRIGATION NOTES.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME
	1	ACCOLADE ELM
	10	COMMON HACKBERRY
	1	KENTUCKY COFFEETREE ESPRESSO
	10	NORTHERN PIN OAK
	3	SIENNA GLEN MAPLE
	3	SWAMP WHITE OAK
EVERGREEN TREES	QTY	COMMON NAME
	1	AUSTRIAN PINE FULL FORM
	7	BLACK HILLS SPRUCE FULL FORM
ORNAMENTAL TREES	QTY	COMMON NAME
	20	AUTUMN BRILLIANCE SERVICEBERRY
	4	FOX VALLEY BIRCH
	1	PAGODA DOGWOOD
	21	THORNLESS HAWTHORN
GRASSES	QTY	COMMON NAME
	4	SHENANDOAH SWITCH GRASS
PERENNIALS	QTY	COMMON NAME
	12	RUBY STELLA DAYLILY

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06/29/2020 CITY SUBMITTAL
09/28/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Minnesota.
Chad E. Feigum - LA

License No. 46508
Date 06/29/20

QUALITY CONTROL

Loucks Project No. 18524.0
Project Lead MJS
Drawn By CEF
Checked By CEF
Review Date 06/29/20

SHEET INDEX

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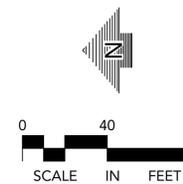


CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

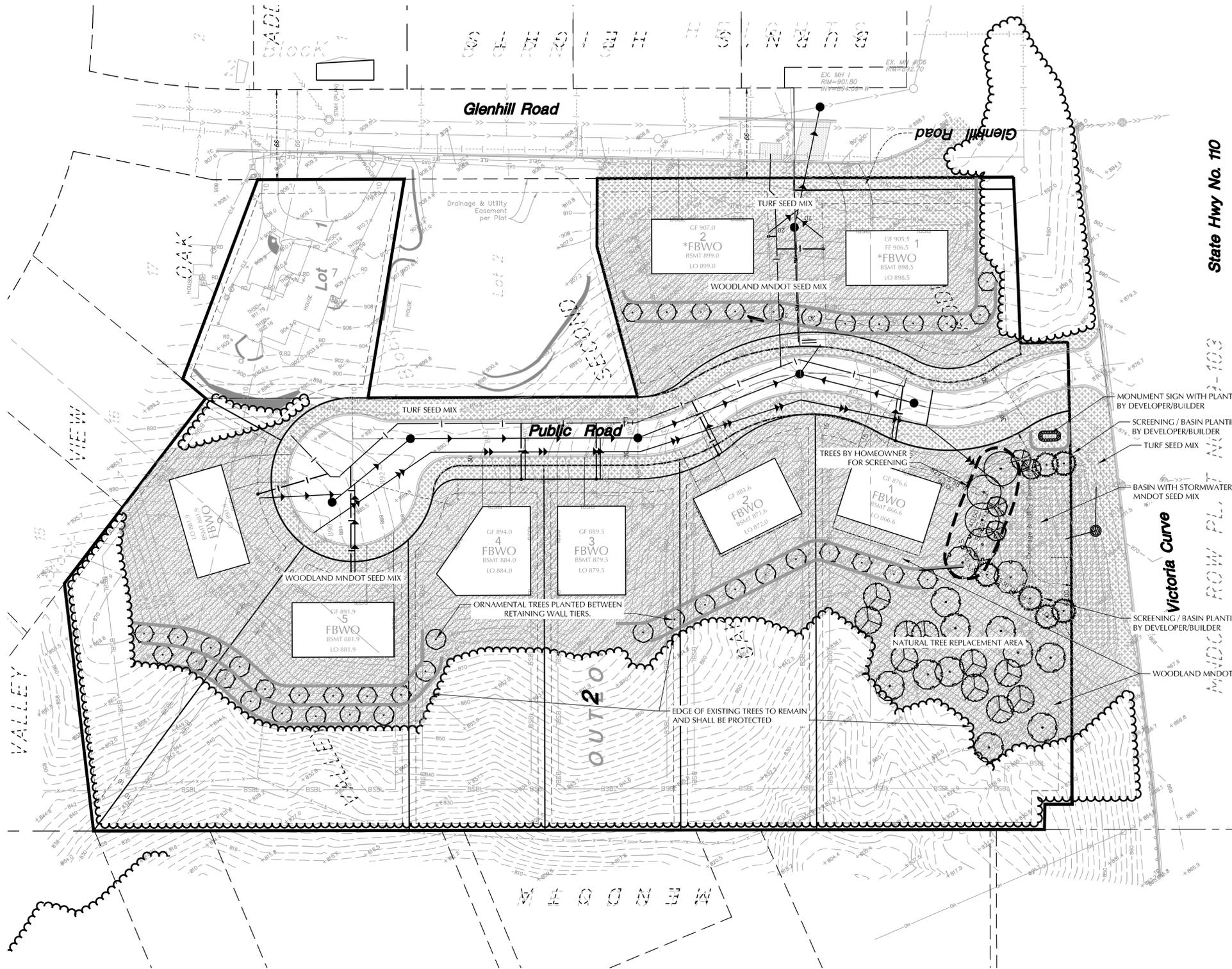
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



LANDSCAPE PLAN

L1-1



IRRIGATION NOTES:

VERIFY EXISTING / PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND / OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD / SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD / SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3" ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND / OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING PERENNIALS, GROUND COVER, ANNUALS, AND / OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF 5 PARTS CLEAN TOPSOIL AND 1 PART PEAT. SHRUBS AND TREES TO BE BACKFILLED WITH SAME PLANTING SOIL.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD / SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER. ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED / INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE / PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED / SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

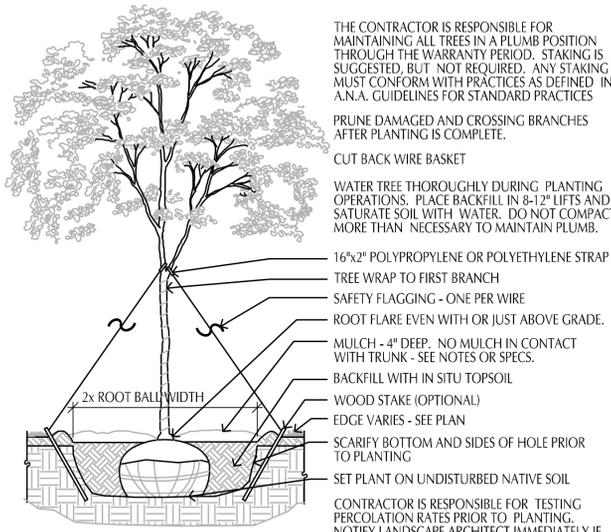
FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

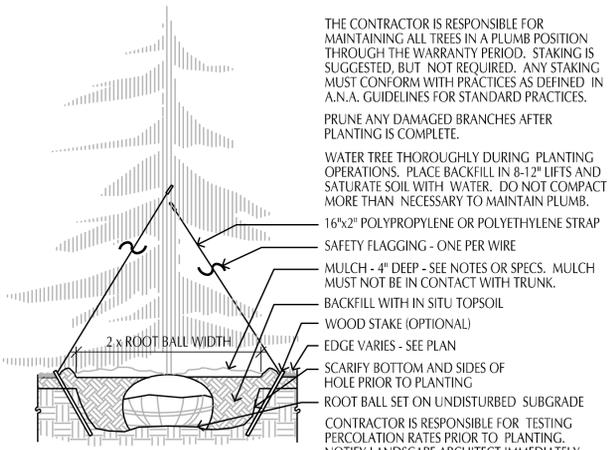
LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

REFER TO SHEET L1-1 FOR LANDSCAPE PLAN AND GENERAL NOTES.

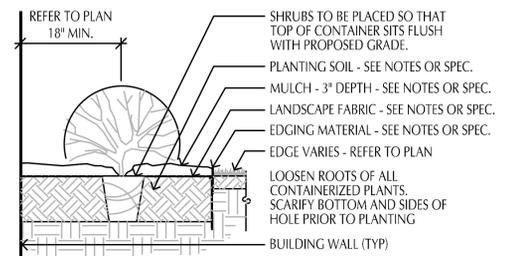
PLANT SCHEDULE								
DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	AE	1	ACCOLADE ELM	Ulmus 'Morton'	B & B	2.5"Cal		
	CH	10	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5"Cal		
	GD2	1	KENTUCKY COFFEETREE ESPRESSO	Gymnocladus dioica 'Espresso'	B & B	2.5"Cal		
	NP	10	NORTHERN PIN OAK	Quercus ellipsoidalis	B & B	2.5"Cal		
	SGM	3	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5"Cal		
	QB	3	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5"Cal		
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	AP	1	AUSTRIAN PINE FULL FORM	Pinus nigra	B & B	6' HGT		
	BS	7	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT		
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE		
	ABS	20	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	B & B	1.5"Cal		
	FVB	4	FOX VALLEY BIRCH	Betula nigra 'Little King' TM	B & B	1.5"Cal		
	PD	1	PAGODA DOGWOOD	Cornus alternifolia	B & B	1.5"Cal		
	TH	21	THORNLESS HAWTHORN	Crataegus crus-galli 'Inermis'	B & B	1.5"Cal		
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING	
	SSG	4	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenendoah'	1 gal		36" o.c.	
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING	
	RSD	12	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'	1 gal		24" o.c.	
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME					
	SEED 3	BASIN SEED MIX MNDOT SEED MIX 33-261 STORMWATER SOUTH & WEST						
	SM 1	STONE MULCH CRUSHED GRAY ROCK 1/4" MINUS 3" DEPTH						
	SEED	TURF SEED						
	SEED 2	WOODLAND SEED MIX MNDOT SEED MIX 36-211 WOODLAND EDGE SOUTH & WEST						



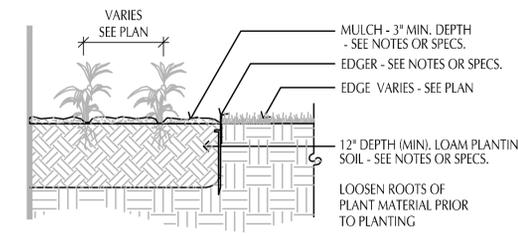
1
L2-1
SCALE: 1/2" = 1'-0"
Deciduous Tree.DWG



2
L2-1
SCALE: 1/2" = 1'-0"
Coniferous Tree.DWG



3
L2-1
SCALE: 3/4" = 1'-0"
SHRUB PLANTING DETAIL



4
L2-1
SCALE: 3/4" = 1'-0"
Perennial.DWG

**VALLEY VIEW
OAK 3RD
ADDITION**
MENDOTA HEIGHTS, MN

**LARRY & MARY
CULLIGAN**
1941 GLENHILL ROAD
MENDOTA HEIGHTS, MN 55118

LOUCKS
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SUBMITTAL/REVISIONS
06/29/2020 CITY SUBMITTAL
09/28/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Minnesota.
NOT FOR CONSTRUCTION
Chad E. Feigum - LA
License No. 46508
Date 06/29/20

QUALITY CONTROL
Loucks Project No. 18524-0
Project Lead MJS
Drawn By CEF
Checked By CEF
Review Date 06/29/20

SHEET INDEX
C0-1 COVER SHEET
C1-1 EXISTING CONDITIONS & DEMOLITION PLAN
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C3-3 SWPPP NOTES
C4-1 SANITARY & WATER PLAN
C4-2 SANITARY & WATER PLAN
C5-1 STREET & STORM SEWER PLAN
C6-1 PRELIMINARY PLAT
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
C8-3 CIVIL DETAILS
L1-1 LANDSCAPE PLAN
L2-1 LANDSCAPE DETAILS

**LANDSCAPE
DETAILS
L2-1**